

Taneytown Planning Commission

James Parker
Chairman
James Wieprecht
City Manager
Darryl G. Hale
Director of Planning and Zoning

Commission
Members
Christopher Tillman
Bradley Brown
Bill Isenberg
Dan Myers
Barry Gamer

**AGENDA
TANEYTOWN PLANNING COMMISSION
MARCH 25, 2024
7:30 PM**

Meeting Opening: Pledge, Roll Call
Jim Parker, Chairman, Planning Commission

Review and Approval of Minutes from February 26, 2024

Delegations and Action Items.

- Taneytown Auto Parts. Pat Small. 11 Franklin Street.** Requesting a site plan waiver.
- Taney View.** Minor subdivision. Jeff Zigler, CLSI Engineers and Surveyors. Requesting final minor subdivision approval.
- Taneytown Elementary School Pre-Kindergarten and Kindergarten Addition.** Austin Hancock, Civil Engineer with Site Resources Inc. Bill Caine, Carroll County Board of Education. Concept site plan presentation.

Ordinances and Agreements for Review

Planning and Zoning Report
Darryl Hale, Director of Planning and Zoning

Discussion of Active Projects

Active Site plans

- Taneytown Elementary School PreK and Kindergarten Addition
- Evapco 3rd Amended Site Plan
- Memorial Park Expansion
- Recovery 180
- Storage Today
- Taneytown Supply
- Evapco Allendale Lane Parking Lot

Active Subdivisions

- Mountain Brook
- Taney View
- Gamet Ridge

Construction Phase Projects

- Bollinger Park
- Sheetz
- Evapco
- The Georges On York
- Meade's Crossing phases I, IA, 2A, 2B
- Tannery Barn
- FP Duffy addition

Legal Update
Jay Gullo, City Attorney

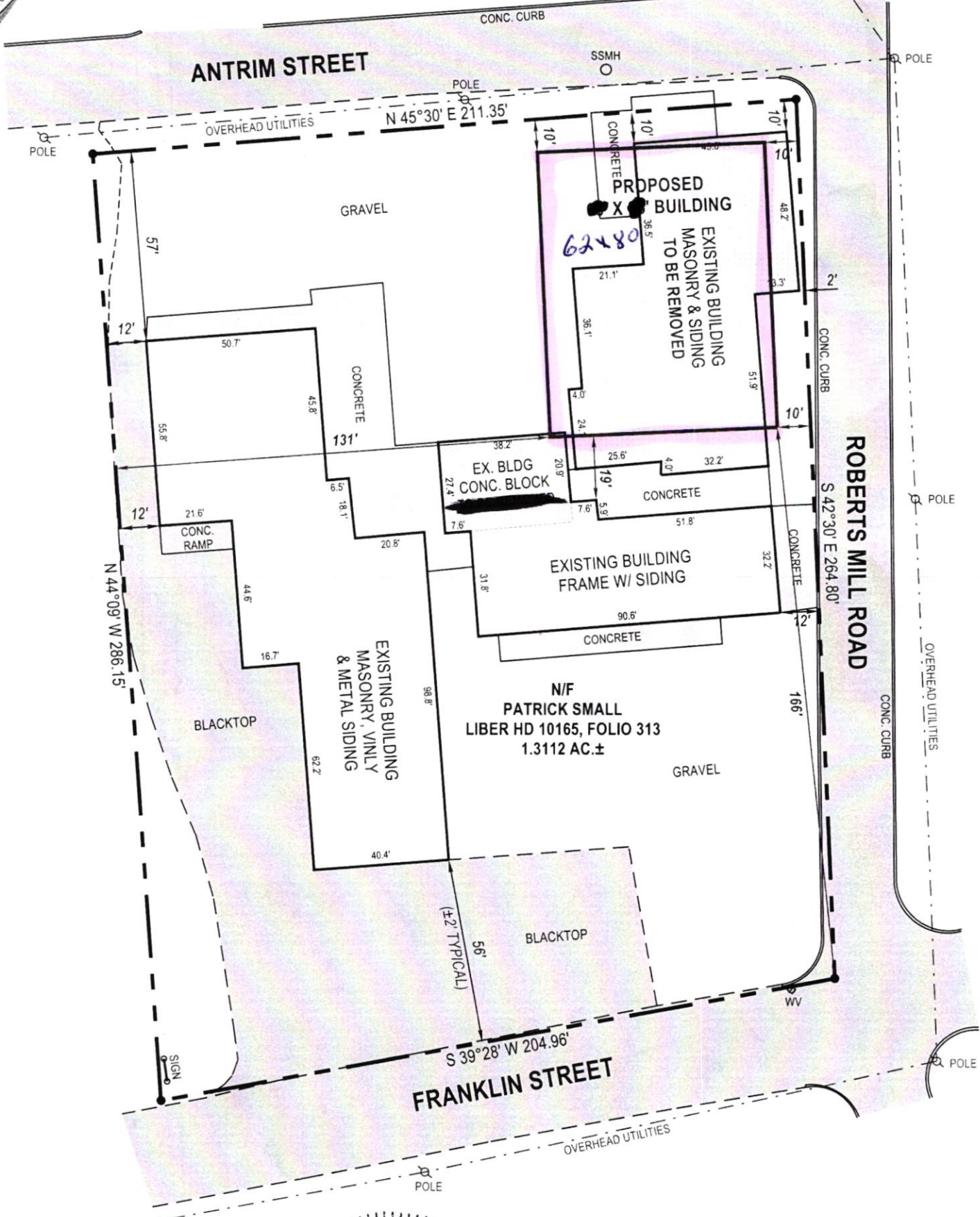
County Update
Tiffany Fossett, Carroll County Planning Liaison

Old Business

New Business
-Discussion on Open Meetings Act

Adjournment

To view live streaming of the meeting go to <http://www.youtube.com/c/TaneytownMD>. Persons with questions regarding this meeting may call 410-751-1100 or visit news and events at www.taneytownmd.gov for further information.



ANTRIM STREET

ROBERTS MILL ROAD

FRANKLIN STREET

N/F
PATRICK SMALL
LIBER HD 10165, FOLIO 313
1.3112 AC.±

PROPOSED BUILDING

EXISTING BUILDING
MASONRY & SIDING
TO BE REMOVED

62x80

EXISTING BUILDING
FRAME W/ SIDING

EXISTING BUILDING
MASONRY, VINYL
& METAL SIDING

(±2" TYPICAL)



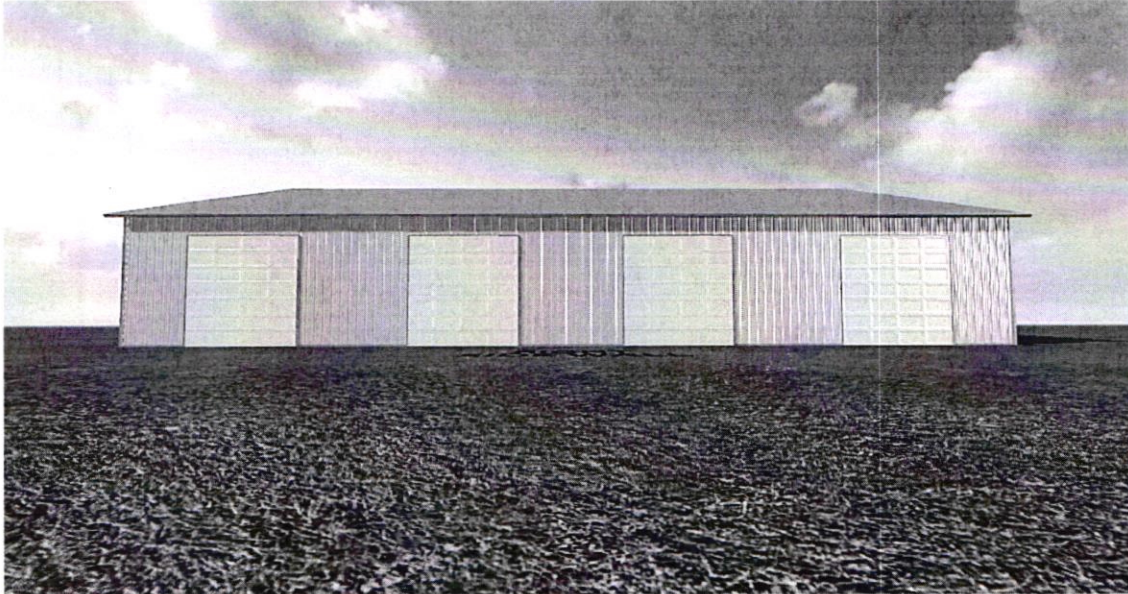
PI OT PI AN &

Sp 12
19/1/23

19/1/23

19/1/23

FBi Buildings



Building Specs

Width: 60'
Length: 80'
Height: 12'
Roof Type: Gabled
Roof Pitch: 4":12"
Post Footing: Perma-Column

Colors

Roof Color: Clay
Wall Color: Light Stone
Trim Color: Clay
Walk Doors: Light Stone
Large Doors: Regal White
Track: Clay
Interior Panels: Regal White

Interior

Ceiling: None

Walls

F Wall: Enclosed
B Wall: Enclosed
L Wall: Enclosed
R Wall: Enclosed

Roof Options

F Gable Extension: 1'
B Gable Extension: 1'
L Eave Extension: 1
R Eave Extension: 1

Lean-tos

Windows & Doors

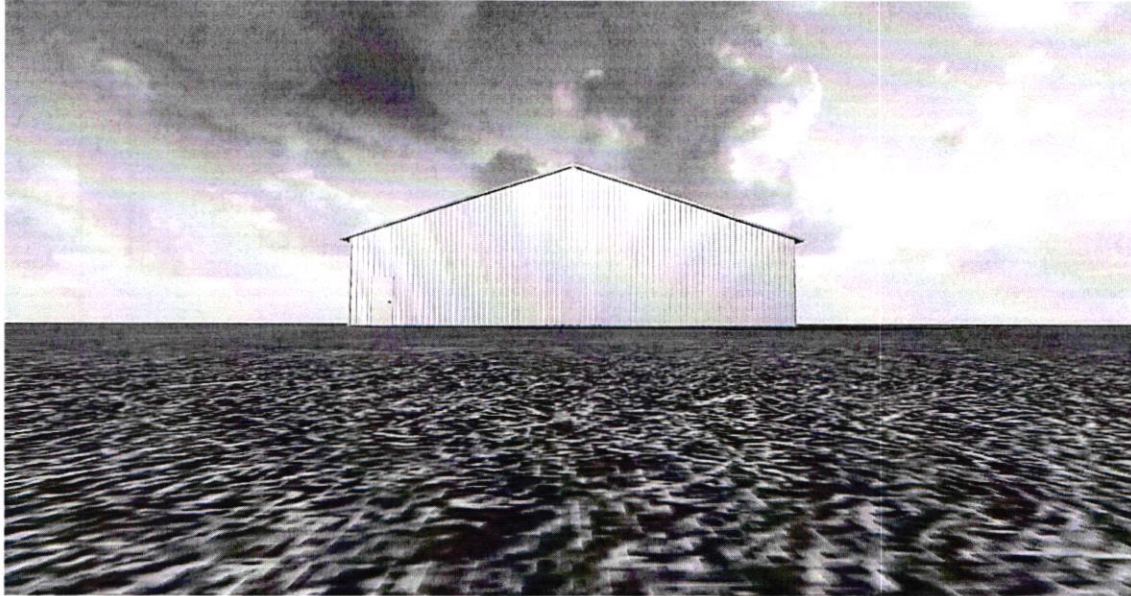
Walk Door Solid Qty: 2
Overhead Panel Door Qty: 4

Item Sizes:

Walk Door Solid: w36' x h76'
Walk Door Solid: w36' x h76'
Overhead Panel Door: w10' x h10'
Overhead Panel Door: w10' x h10'
Overhead Panel Door: w10' x h10'
Overhead Panel Door: w10' x h10'

FBiBuildings.com

(800) 552-2981



Building Specs

Width: 60'
 Length: 80'
 Height: 12'
 Roof Type: Gabled
 Roof Pitch: 4":12"
 Post Footing: Perma-Column

Colors

Roof Color: Clay
 Wall Color: Light Stone
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 Walk Doors: Light Stone
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 Track: Clay
 Interior Panels: Regal White

Interior

Ceiling: None

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Lean-tos

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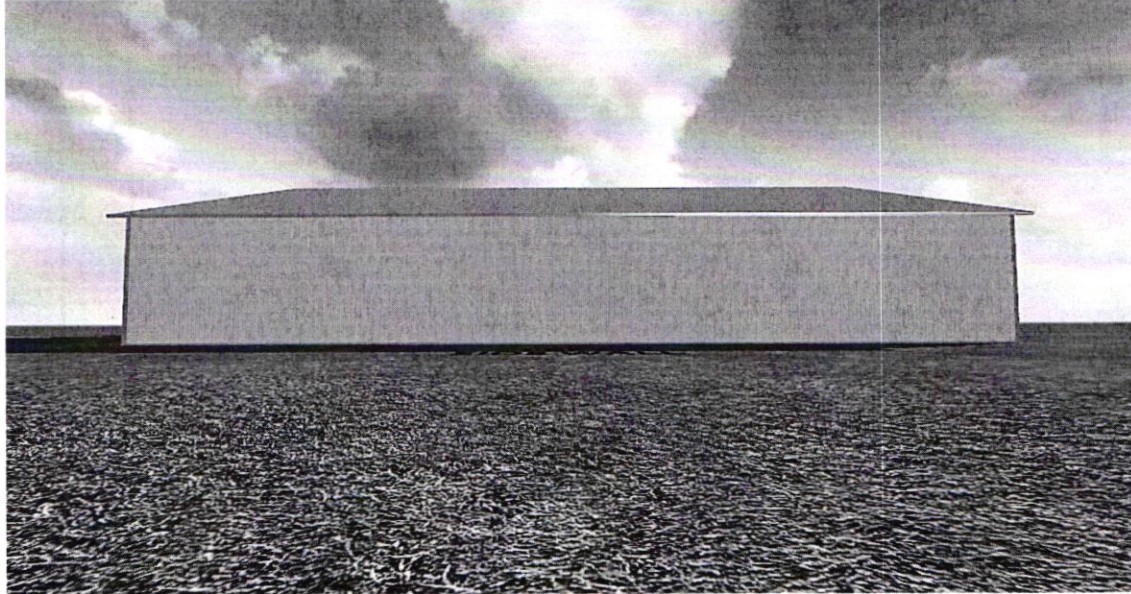
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Windows & Doors

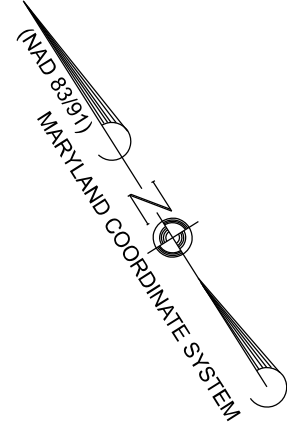
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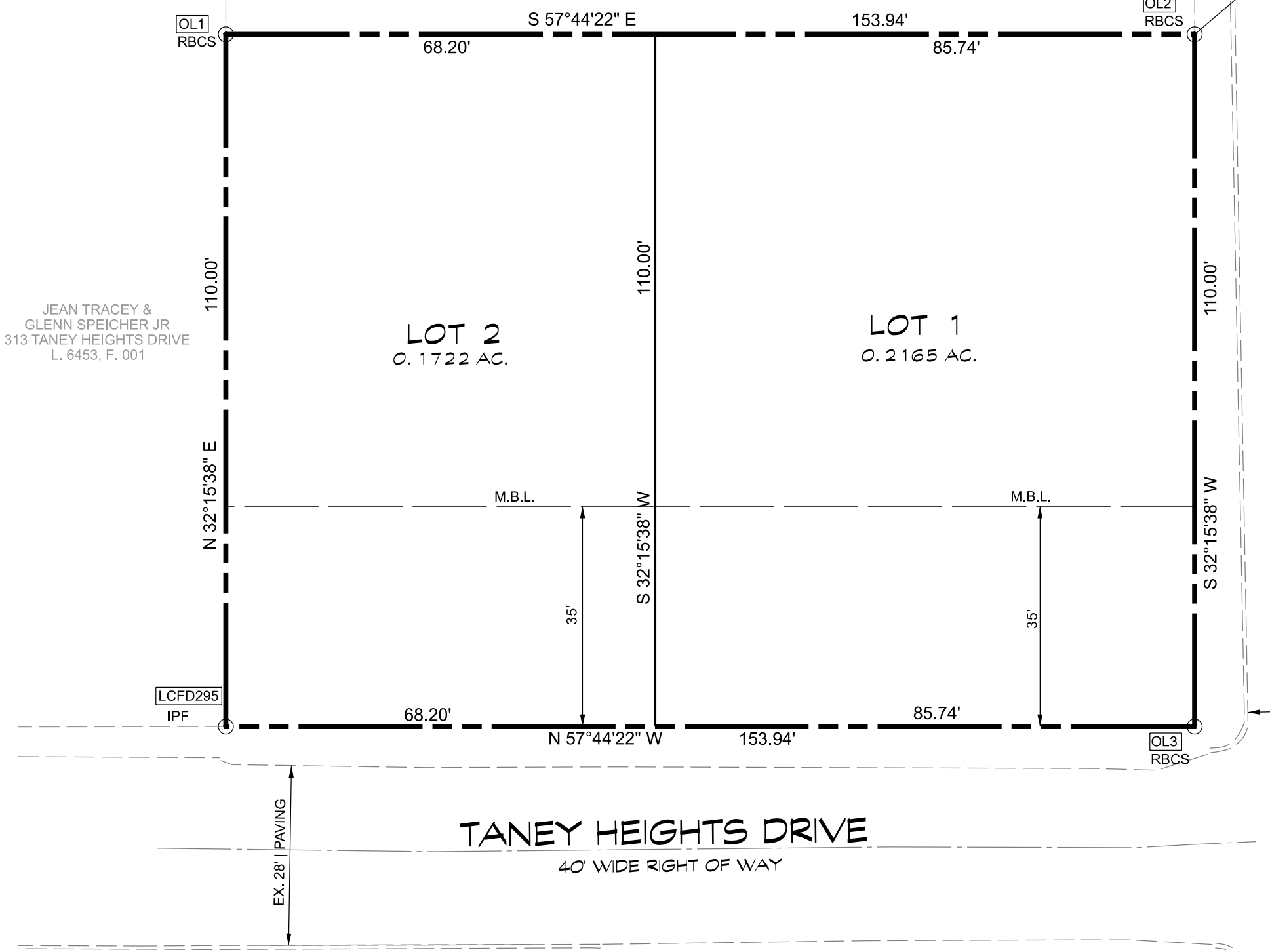
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FBiBuildings.com

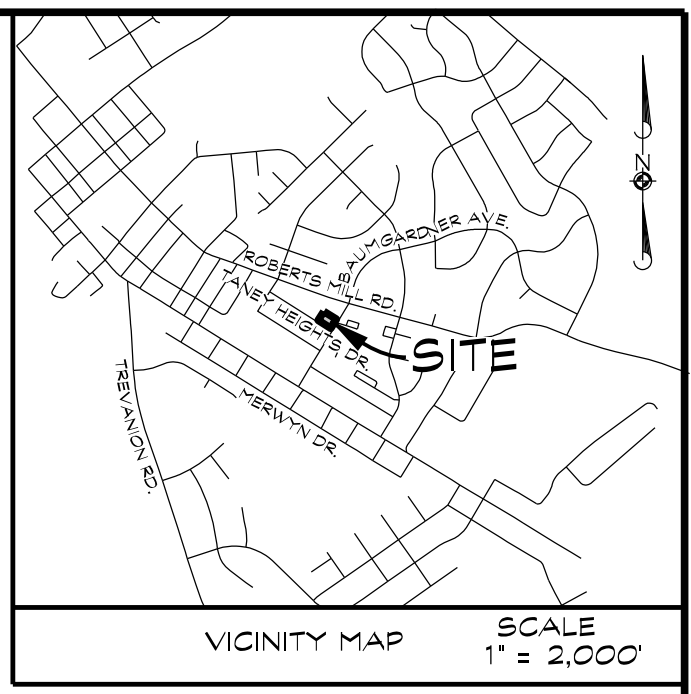
(800) 552-2981



COREY & MADELINE HOUP
330 ROBERTS MILL ROAD
L. 10947, F. 319



COUNTY SURVEY CONTROL
"BANCROFT"
REBAR AND CAP FOUND
N: 724586.29
E: 1267398.78
EL. 521.40



GENERAL NOTES

- OWNER: J.A. MYERS BUILDING AND DEVELOPMENT, INC.
DEED REFERENCE: LIBER 11042 FOLIO 079
DATE: MAY 19, 2023
GRANTOR: MICHAEL R. KOONTZ, TRUSTEE OF THE RICHARD L. KOONTZ IRREVOCABLE TRUST AGREEMENT AND MICHAEL R. KOONTZ, TRUSTEE OF THE ROMAINE E. KOONTZ IRREVOCABLE TRUST AGREEMENT
- ANY MODIFICATION OR PLAT REASSEMBLY SHALL BE SUBJECT TO APPROVAL BY THE CITY OF TANEYTOWN'S PLANNING COMMISSION.
- COUNTY MASTER PLAN FOR WATER AND SEWERAGE
WATER - EXISTING SERVICE AREA
SEWER - EXISTING SERVICE AREA
PUBLIC WATER AND SEWER WILL BE AVAILABLE, AND NO INDIVIDUAL WATER OR SEWERAGE SYSTEMS SHALL BE PERMITTED.
- LOTS 1 & 2 CONTAIN PRIVATE STORMWATER MANAGEMENT FACILITIES. A STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT SHALL BE GRANTED TO THE CITY OF TANEYTOWN AS AN EASEMENT OF ACCESS TO THE CITY OF TANEYTOWN OR AUTHORIZED REPRESENTATIVES BY A DEED TO BE RECORDED SIMULTANEOUSLY HEREWITH.

COORDINATES

NO.	NORTHING	EASTING
LCFD295	724360.8699	1265707.6847
OL1	724453.8891	1265766.3995
OL2	724371.7204	1265896.5757
OL3	724278.7012	1265837.8608

COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND COORDINATE SYSTEM AND ARE DESIGNATED THUS: **XXX**

DATA TABULATIONS

- TOTAL NUMBER OF LOTS: 2
- TOTAL AREA OF LOTS: 0.3887 AC.
- TOTAL AREA OF PLAT: 0.3887 AC.

LEGEND

RBCS: REBAR AND CAP SET
IPF: IRON PIN FOUND

PLAT SHEET 1 OF 1
TANEY VIEW

CITY OF TANEYTOWN
TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

OWNER/DEVELOPER
J A MYERS BUILDING AND DEVELOPMENT INC.
160 RAM DRIVE
HANOVER, PA 17331
717-632-9406

CAD Drawing File Name:

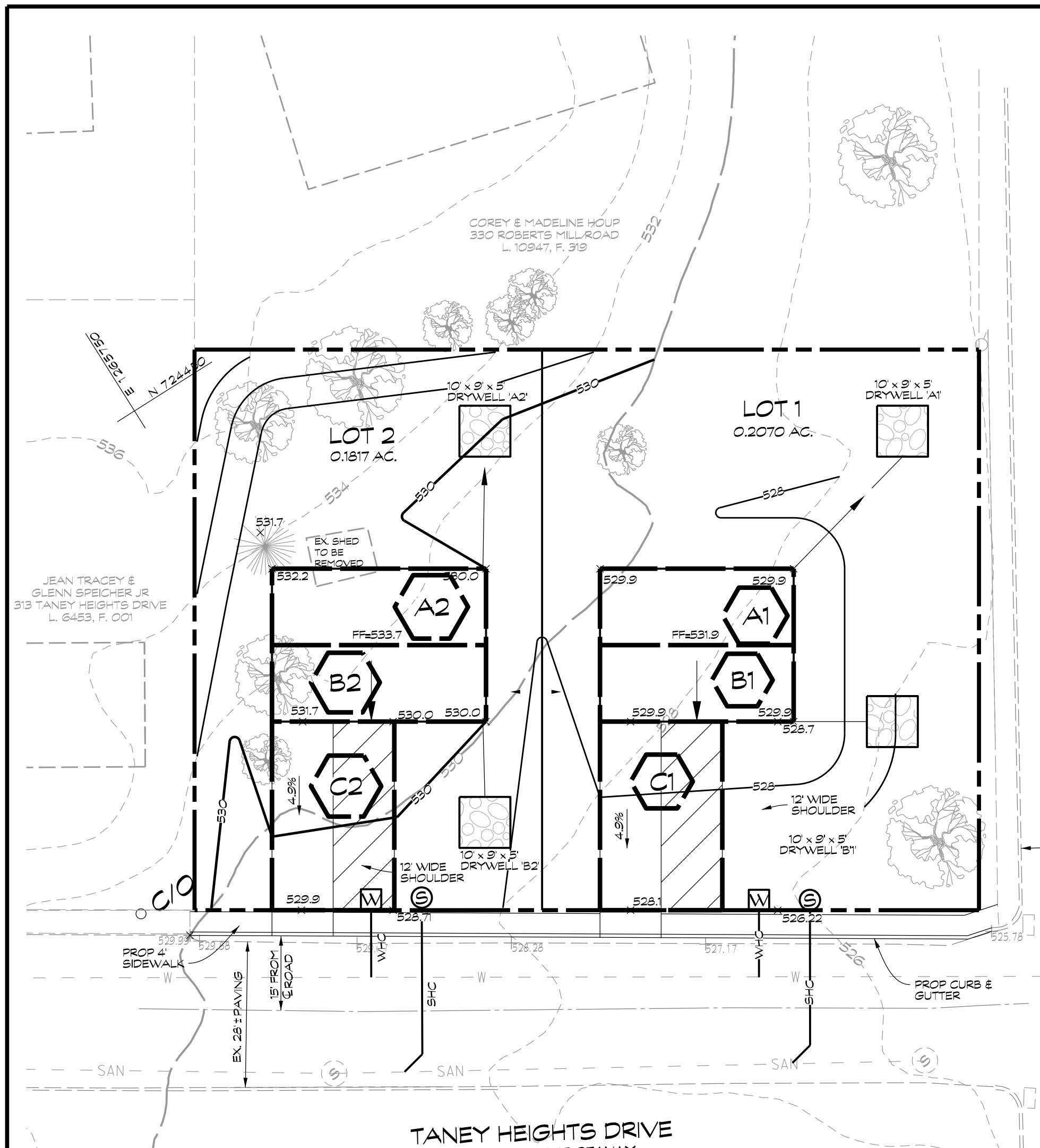
<p>PLATBOOK H.S.D. PAGE DATE</p> <p>CARROLL COUNTY HEALTH DEPARTMENT APPROVAL</p> <p>BY _____ DATE _____</p> <p>COMMUNITY WATER AND SEWERAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN FOR WATER AND SEWER</p> <p>City of Taneytown Planning and Zoning Commission Approval</p> <p>BY _____ DATE _____</p> <p>City of Taneytown Mayor and City Council Approval</p> <p>BY _____ DATE _____</p>	<p>CERTIFICATION</p> <p>The owner(s), to the best of his (their) knowledge, and the surveyor do hereby certify that the land shown hereon has been laid out and the plat prepared in compliance with Section 3-10B of the Real Property Article of the Annotated Code of Maryland (1974). As amended, pertaining to the preparation of record plats and setting of markers.</p> <p>OWNER'S SIGNATURE: _____</p> <p>By: Benjamin Myers, Vice President DATE _____</p> <p>SURVEYOR'S CERTIFICATION</p> <p>Javier Morales Roldan DATE _____ Professional Land Surveyor Reg. No. 21885</p> <p>PUBLIC WATER AND SEWERAGE FACILITIES WILL BE AVAILABLE FOR ALL LOTS OFFERED FOR SALE.</p> <p>OWNER'S SIGNATURE _____ DATE _____</p>	<p>Date * Revision</p> <p>9/27/23 * County Comments</p> <p>1/15/24 * Adjust Lot Line</p>		<p>439 East Main Street Westminster, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791</p> <p>Javier Morales Roldan Professional Land Surveyor Registration No. 21885 License Expires 08/09/2023</p> <p>Date: 7/27/23</p>
<p>CITY OF TANEYTOWN Director of Planning & Public Works Recommended for Approval</p> <p>BY _____ DATE _____</p>	<p>Scale: 1" = 20'</p>	<p>Surveyed By: _____</p> <p>Computed By: _____</p>	<p>Drawn By: BMM</p> <p>Checked By: _____</p>	<p>Drawing No.: 2022290</p> <p>County File No.: M-23-0035</p>

LEGEND

-  DRAINAGE AREA IDENTIFIER
-  DRAINAGE AREA DIVIDE
-  12' WIDE SHOULDER AREA

STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

1. THE STORMWATER MANAGEMENT FACILITY/FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER(S). A SPECIFIC MAINTENANCE SCHEDULE IS SHOWN BELOW ON THIS SHEET FOR REFERENCE.
2. OWNER/HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITY/FACILITIES, WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVING SEDIMENT, TREES, SHRUBS AND DEBRIS. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON AN 'AS NEEDED' BASIS BUT SHALL NOT BE DELAYED LONGER THAN THIRTY (30) DAYS.
3. OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE BUT IN ANY CASE WITHIN THIRTY (30) DAYS.
4. IF AFTER NOTICE BY THE COUNTY/TOWN/CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER(S) WITHIN (30) DAYS THE COUNTY/TOWN/CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNERS OF THE FACILITY SHALL BE ASSESSED THE COST OF THE WORK AND ANY PENALTIES. THESE MONIES SHALL BE COLLECTED FROM A BOND, WHICH THE DEVELOPER IS REQUIRED TO POST WITH THE COUNTY/TOWN/CITY TO COVER SUCH EXPENSES UNTIL 'COMPLETION OF FACILITY'. 'COMPLETION OF THE FACILITY' IS CONSTRUED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A 2" STAND OF GRASS AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER HAS CERTIFIED THAT THE 'AS-BUILT' PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION. AFTER 'COMPLETION OF THE FACILITY' THE OWNER(S) WILL BE ASSESSED FOR ANY WORK AND PENALTIES. THIS MAY BE ACCOMPLISHED BY PLACING A LIEN ON THE PROPERTY, WHICH MAY BE PLACED ON THE TAX BILL AND COLLECTED AS ORDINARY TAXES BY THE COUNTY/TOWN/CITY.
5. OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY/TOWN/CITY PERSONNEL FOR PURPOSES OF INSPECTION. MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS (8:00 A.M. TO 5:00 P.M. MONDAY - FRIDAY).
6. THE AGREEMENT INCLUDING RIGHT OF ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED BY THE APPLICANT AND/OR OWNER IN THE LAND RECORDS OF THE COUNTY.



STORMWATER MAINTENANCE SCHEDULE DRYWELL

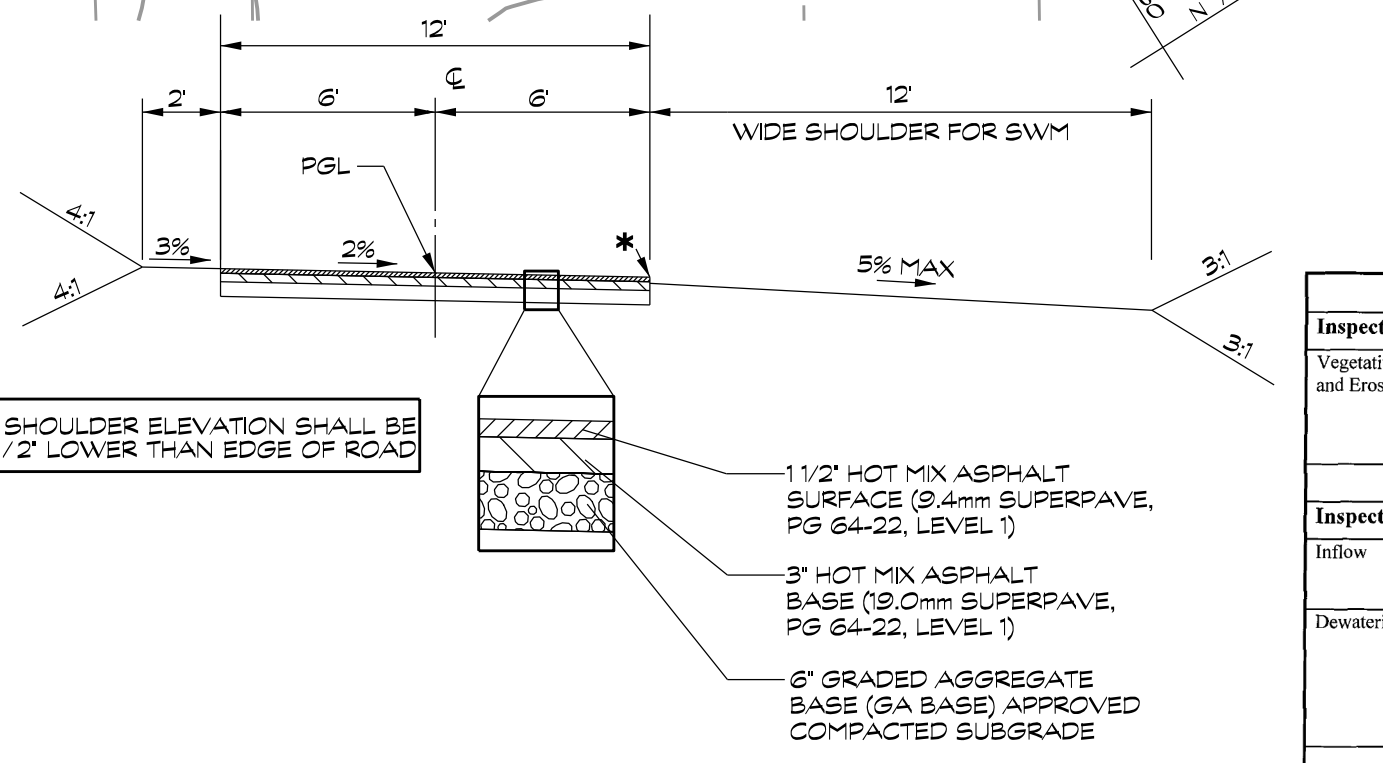
MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check overflow area for channelizing and bare spots.	Re-seed or re-plant in accordance with approved landscaping plans. Re-grade if concentrated flow is causing rills or gully over the facility.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Leaves and Debris	Check that gutters, downspouts and screens are clear of leaves and debris.	Clean out gutters, downspouts and screens and dispose of leaves and debris in an acceptable manner.
Inflow and Overflow	Check for misalignments, broken pipes, and blockages. Inlet pipe and surcharge overflow "Y" or "T" must be in good condition.	Repair any broken or faulty piping. Clear out any blockages.
Dewatering	Check observation wells for water level. Water stored in stone must dewater within 48 hours of rainfall. Noticeable odors or the presence of algae or stilled water are indicators of anaerobic conditions and inadequate dewatering of the facility.	Excavate, remove, clean, and replace stone and sand in accordance with approved plans.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed.	Repair to good condition according to specifications on the approved plans.

THE ENTIRE SITE AREA IS LOCATED WITHIN 'B' SOILS

**SHEET 2 OF 4
STORMWATER MANAGEMENT PLAN
TANEY VIEW
CITY OF TANEYTOWN
TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD**

OWNER/DEVELOPER
J A MYERS BUILDING AND DEVELOPMENT INC.
160 RAM DRIVE
HANOVER, PA 17331
717-832-9406




MONTHLY INSPECTION

Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check for vegetation over 4" height. Check disconnection area for channelizing and bare spots.	Mow grass/remove trees and shrubs. Re-grade if concentrated flow is causing rills or gully on surface. Re-seed as necessary.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Inflow	Ensure sheet flow from pavement to grass shoulder disconnection area.	Remove debris, vegetation, regrade and re-seed as necessary to ensure sheet flow from pavement.
Dewatering	Check for soft areas and/or soil saturated to the surface.	Check slotted pipe, rodent guards and eliminate blockages. If necessary, excavate, remove and replace stone and slotted pipe.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Overall Function of Disconnection	Check that grass disconnection is operating as designed.	Repair to good condition according to specifications on the approved plans.

Date	Revision
9/27/23	County Comments
1/15/24	Adjust Lot Line

Scale: 1" = 20'



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2023	Braten D. Moore Professional Engineer Registration No. 51285 License Expires 12/07/2023 Date: 8/3/2023
Surveyed By: Computed By:	Drawn By: BTM Checked By: BDM Drawing No.: 2022290 County File No.: M-23-0035

CAD Drawing File Name:

SWM SEQUENCE OF CONSTRUCTION AND INSPECTION CHART FOR WIDE SHOULDERS LOT # 1

STAGE	CERTIFYING PROFESSIONAL'S APPROVAL		
	INITIALS	DATE	INSPECTING AGENT
1. DRIVEWAY AND WIDE SHOULDER(S) GRADED PER PLAN.			CLSI
2. DRIVEWAY CONSTRUCTED			CLSI
3. FINE GRADING, TOPSOILING, SEEDING AND MULCHING OF WIDE SHOULDERS AND SUPPORTING SLOPES. FINISH WIDE SHOULDER ELEVATION 2 1/2 INCHES BELOW EDGE OF TRAVEL LANE.			CLSI
4. ANY DAMAGED AREAS REPAIRED AND 2 INCH STAND OF DENSE GRASS ESTABLISHED OVER ALL DISTURBED AREAS.			CLSI
5. SIGNED AND CERTIFIED AS-BUILT SUBMITTED TO CITY OF TANEYTOWN WITHIN 30 DAYS OF STEP 4.			CLSI

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION *

ENGINEER'S NAME: CLSI
 PHONE NUMBER: (410) 848-1790
 ENGINEER'S NAME: _____
 PHONE NUMBER: _____

SWM SEQUENCE OF CONSTRUCTION AND INSPECTION CHART FOR WIDE SHOULDERS LOT # 2

STAGE	CERTIFYING PROFESSIONAL'S APPROVAL		
	INITIALS	DATE	INSPECTING AGENT
1. DRIVEWAY AND WIDE SHOULDER(S) GRADED PER PLAN.			CLSI
2. DRIVEWAY CONSTRUCTED			CLSI
3. FINE GRADING, TOPSOILING, SEEDING AND MULCHING OF WIDE SHOULDERS AND SUPPORTING SLOPES. FINISH WIDE SHOULDER ELEVATION 2 1/2 INCHES BELOW EDGE OF TRAVEL LANE.			CLSI
4. ANY DAMAGED AREAS REPAIRED AND 2 INCH STAND OF DENSE GRASS ESTABLISHED OVER ALL DISTURBED AREAS.			CLSI
5. SIGNED AND CERTIFIED AS-BUILT SUBMITTED TO CITY OF TANEYTOWN WITHIN 30 DAYS OF STEP 4.			CLSI

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION *

ENGINEER'S NAME: CLSI
 PHONE NUMBER: (410) 848-1790
 ENGINEER'S NAME: _____
 PHONE NUMBER: _____

INSPECTION CHART FOR DRYWELL INSTALLATION LOT #1

STAGE	ENGINEER'S APPROVAL DRYWELL 'A'		ENGINEER'S APPROVAL DRYWELL 'B'	
	INITIALS	DATE	INITIALS	DATE
1. ONCE THE BUILDING HAS BEEN CONSTRUCTED AND FINAL GRADING IS COMPLETE.				
2. EXCAVATION OF DRYWELL PRIOR TO SAND PLACEMENT. INSTALL FILTER FABRIC ON SIDES ONLY. PLACE PIPE BLOCK IN THE CENTER OF THE DRYWELL PIT.				
3. PLACEMENT OF SAND				
4. PLACEMENT OF WASHED NO. 2/37 STONE AND PIPE				
5. PLACEMENT OF 4" PVC PIPE & COMPLETE PLACEMENT OF STONE.				
6. WRAP TOP OF STONE WITH FILTER FABRIC.				
7. INSTALLATION OF ROOF LEADERS. (MAY OCCUR AT ANY TIME BEFORE THIS POINT)				
8. FINE GRADE & STABILIZATION OF AREAS DISTURBED DURING CONSTRUCTION OF DRYWELL.				

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO CONSTRUCTION *

ENGINEER'S NAME: CLSI
 PHONE NUMBER: 410 - 848-1790

INSPECTION CHART FOR DRYWELL INSTALLATION LOT #2

STAGE	ENGINEER'S APPROVAL DRYWELL 'A2'		ENGINEER'S APPROVAL DRYWELL 'B2'	
	INITIALS	DATE	INITIALS	DATE
1. ONCE THE BUILDING HAS BEEN CONSTRUCTED AND FINAL GRADING IS COMPLETE.				
2. EXCAVATION OF DRYWELL PRIOR TO SAND PLACEMENT. INSTALL FILTER FABRIC ON SIDES ONLY. PLACE PIPE BLOCK IN THE CENTER OF THE DRYWELL PIT.				
3. PLACEMENT OF SAND				
4. PLACEMENT OF WASHED NO. 2/37 STONE AND PIPE				
5. PLACEMENT OF 4" PVC PIPE & COMPLETE PLACEMENT OF STONE.				
6. WRAP TOP OF STONE WITH FILTER FABRIC.				
7. INSTALLATION OF ROOF LEADERS. (MAY OCCUR AT ANY TIME BEFORE THIS POINT)				
8. FINE GRADE & STABILIZATION OF AREAS DISTURBED DURING CONSTRUCTION OF DRYWELL.				

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO CONSTRUCTION *

ENGINEER'S NAME: CLSI
 PHONE NUMBER: 410 - 848-1790

STORMWATER MANAGEMENT SUMMARY DATA FOR: WIDE SHOULDER - LOT 1 DRIVEWAY
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. NON-ROOFTOP DISCONNECT: N-2
3. 444 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. WIDE SHOULDER
6. ESDV PROVIDED: 37 CF
7. COORDINATES: N 724366; E 1265747

STORMWATER MANAGEMENT SUMMARY DATA FOR: WIDE SHOULDER - LOT 2 DRIVEWAY
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. NON-ROOFTOP DISCONNECT: N-2
3. 444 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. WIDE SHOULDER
6. ESDV PROVIDED: 37 CF
7. COORDINATES: N 724321; E 1265811

STORMWATER MANAGEMENT SUMMARY DATA FOR: LOT 1, DRYWELL 'A'
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724366; E 1265875

STORMWATER MANAGEMENT SUMMARY DATA FOR: LOT 2, DRYWELL 'A2'
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724410; E 1265806

STORMWATER MANAGEMENT SUMMARY DATA FOR: LOT 1, DRYWELL 'B'
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724828; E 1265828

STORMWATER MANAGEMENT SUMMARY DATA FOR: LOT 1, DRYWELL 'B2'
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724345; E 1265764

SHEET 3 OF 4
 STORMWATER MANAGEMENT NOTES AND DETAILS
TANEY VIEW

CITY OF TANEYTOWN

TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
 1st ELECTION DISTRICT * CARROLL COUNTY, MD

OWNER/DEVELOPER
 J A MYERS BUILDING AND DEVELOPMENT INC.
 160 RAM DRIVE
 HANOVER, PA 17331
 717-632-9406

Date	Revision
9/27/23	* County Comments
1/15/24	* Adjust Lot Line



439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2023

Braton D. Moore
 Professional Engineer
 Registration No. 51285
 License Expires 12/07/2023

Date: 8/3/2023

Scale: 1" = 20'

Surveyed By:

Computed By:

Drawn By: BTM

Checked By: BDM

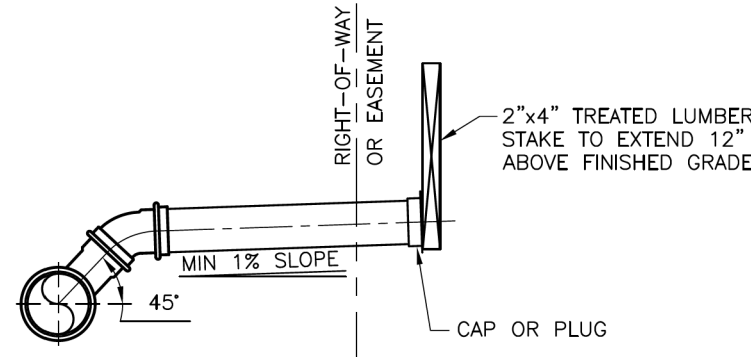
Drawing No.: 2022290

County File No.: M-23-0035

CAD Drawing File Name:

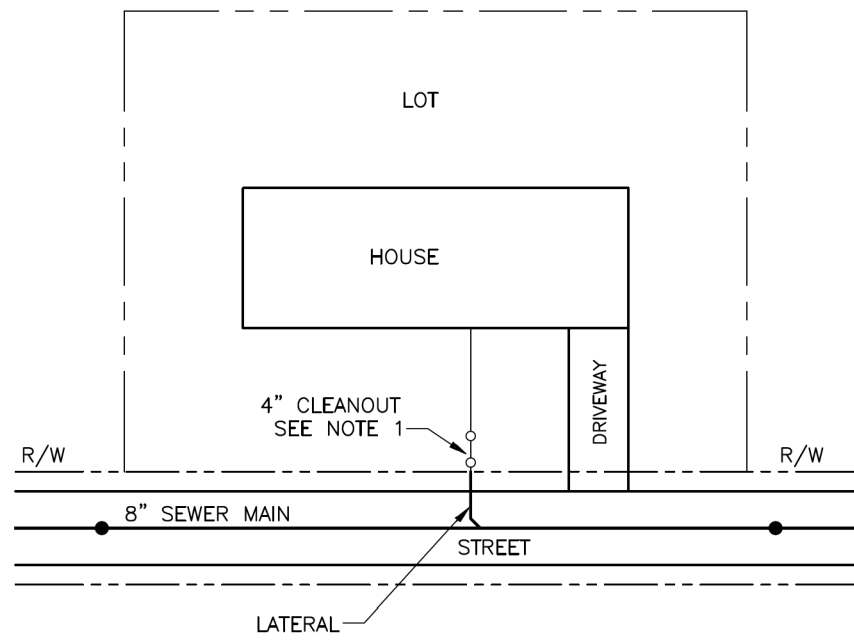
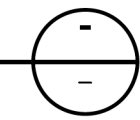


PLAN



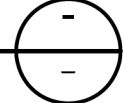
SECTION

LATERAL CONNECTION
DETAIL
NO SCALE



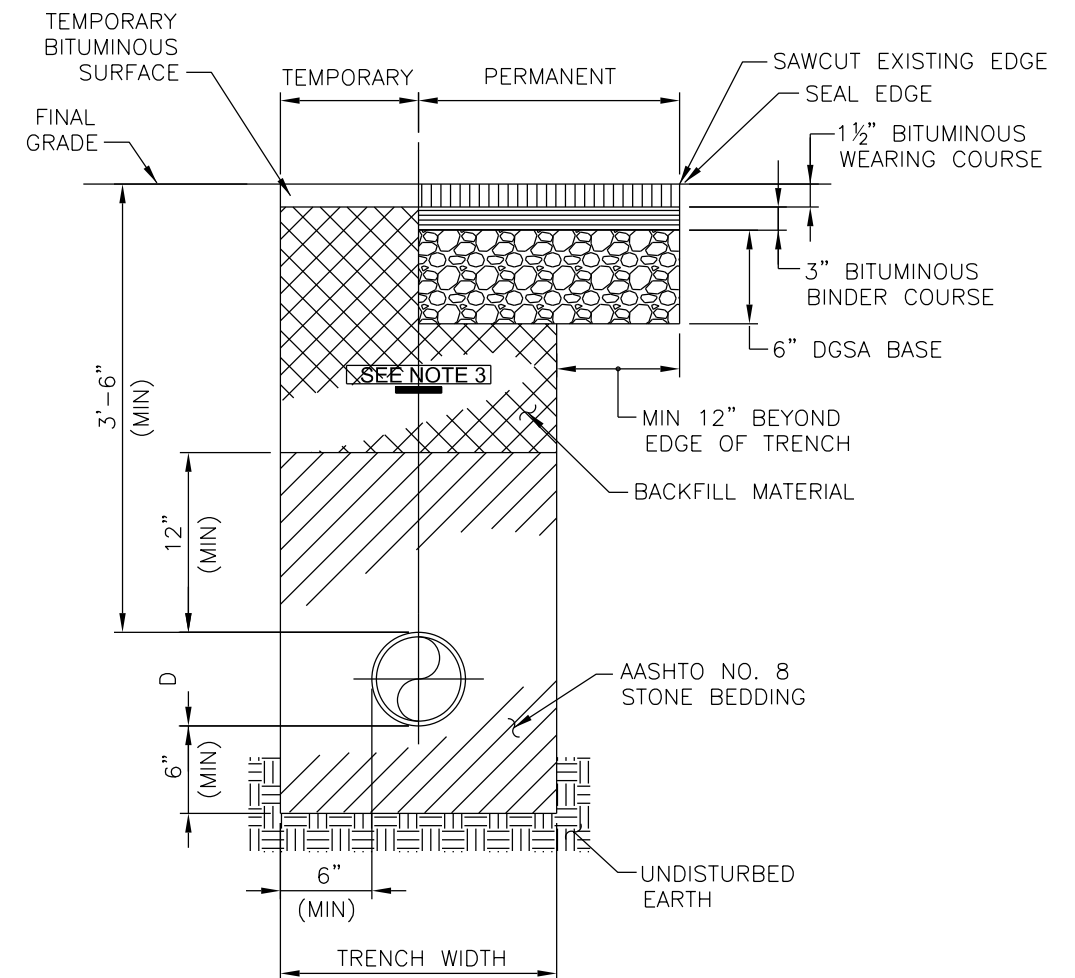
TYPICAL GRAVITY SERVICE LINE - PLAN

DETAIL
NO SCALE



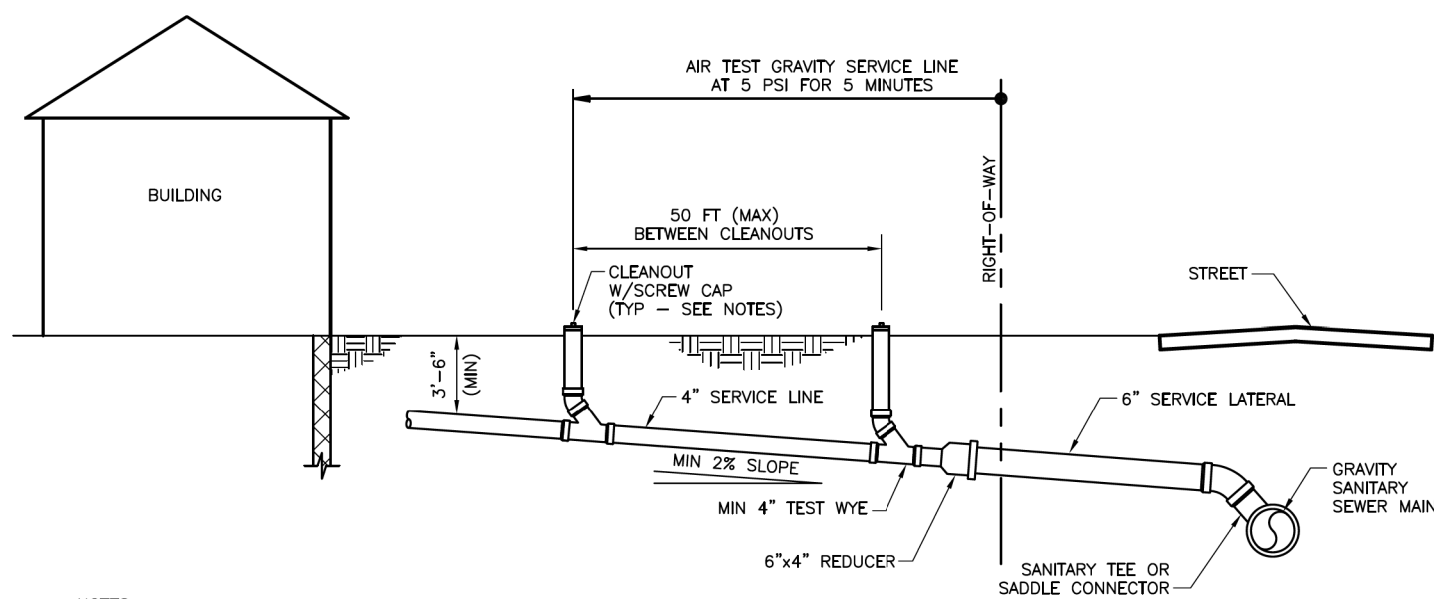
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9



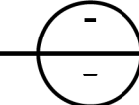
- NOTES:
- BACKFILL & PAVEMENT RESTORATION IN STATE OR COUNTY ROADS SHALL BE AS SPECIFIED BY MSHA OR CARROLL COUNTY, RESPECTIVELY.
 - BACKFILL & PAVEMENT RESTORATION IN CITY ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED BY THE ENGINEER.
 - ADD MAGNETIC WARNING SAFETY TAPE ABOVE ALL WATER MAINS. TAPE SHALL BE PLACED DIRECTLY ABOVE PIPE CENTERLINE, 12-18 INCHES BELOW FINISHED GRADE.

PAVEMENT RESTORATION ³

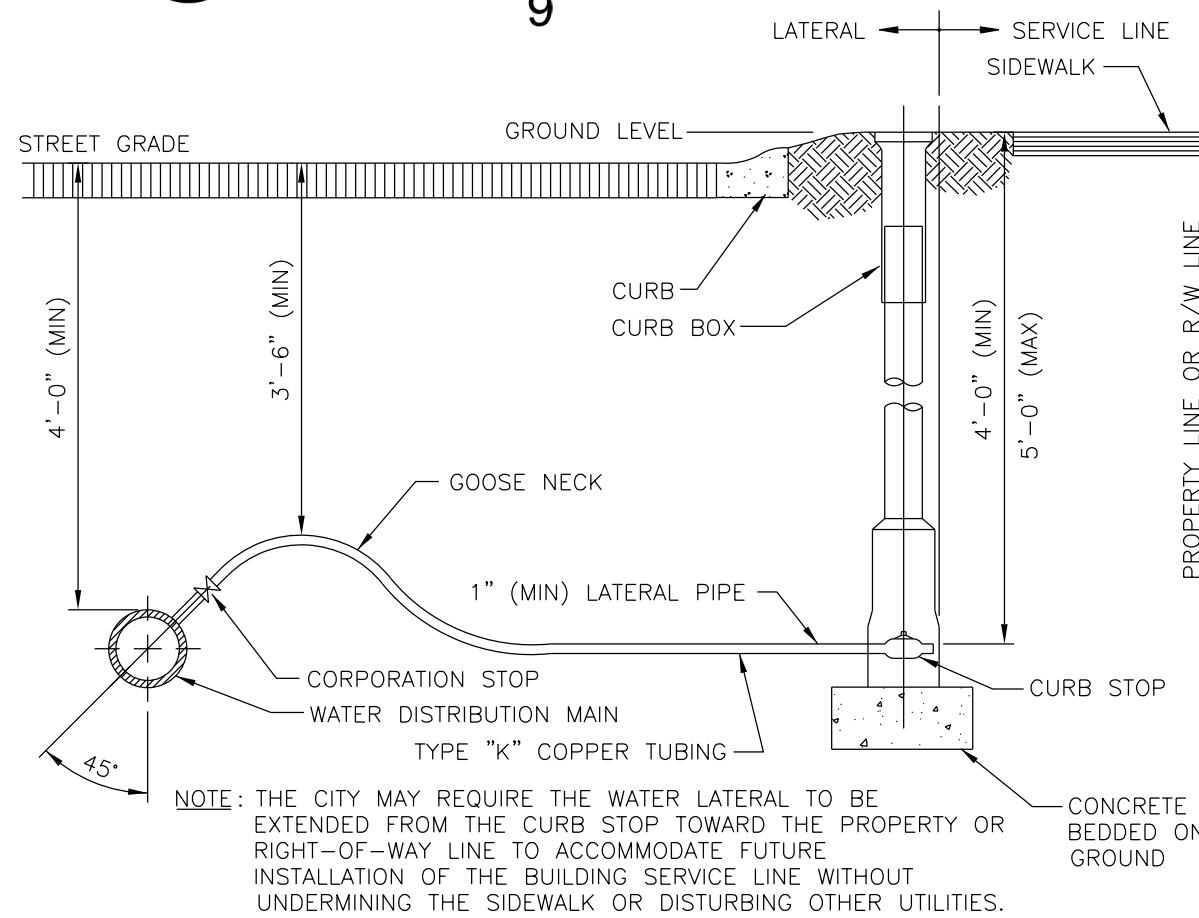


TYPICAL GRAVITY SERVICE LINE - PROFILE

DETAIL
NO SCALE

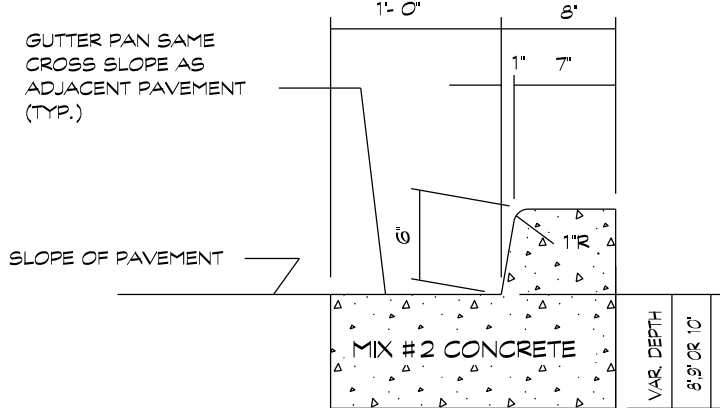


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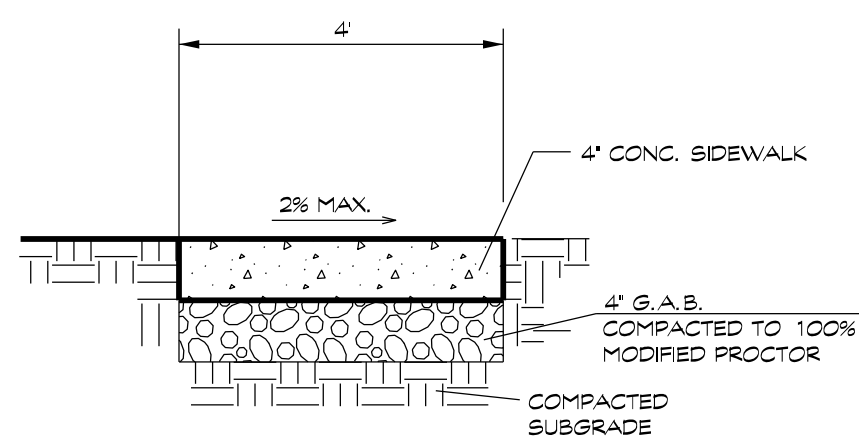


TYPICAL LATERAL (UP TO 2")
USING CORPORATION STOP

4



STANDARD CONCRETE CURB & GUTTER
ON-SITE
NOT TO SCALE



TYPICAL SIDEWALK DETAIL
NOT TO SCALE

SHEET 4 OF 4
MISCELLANEOUS DETAILS

TANEY VIEW

CITY OF TANEYTOWN

TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

Date	Revision
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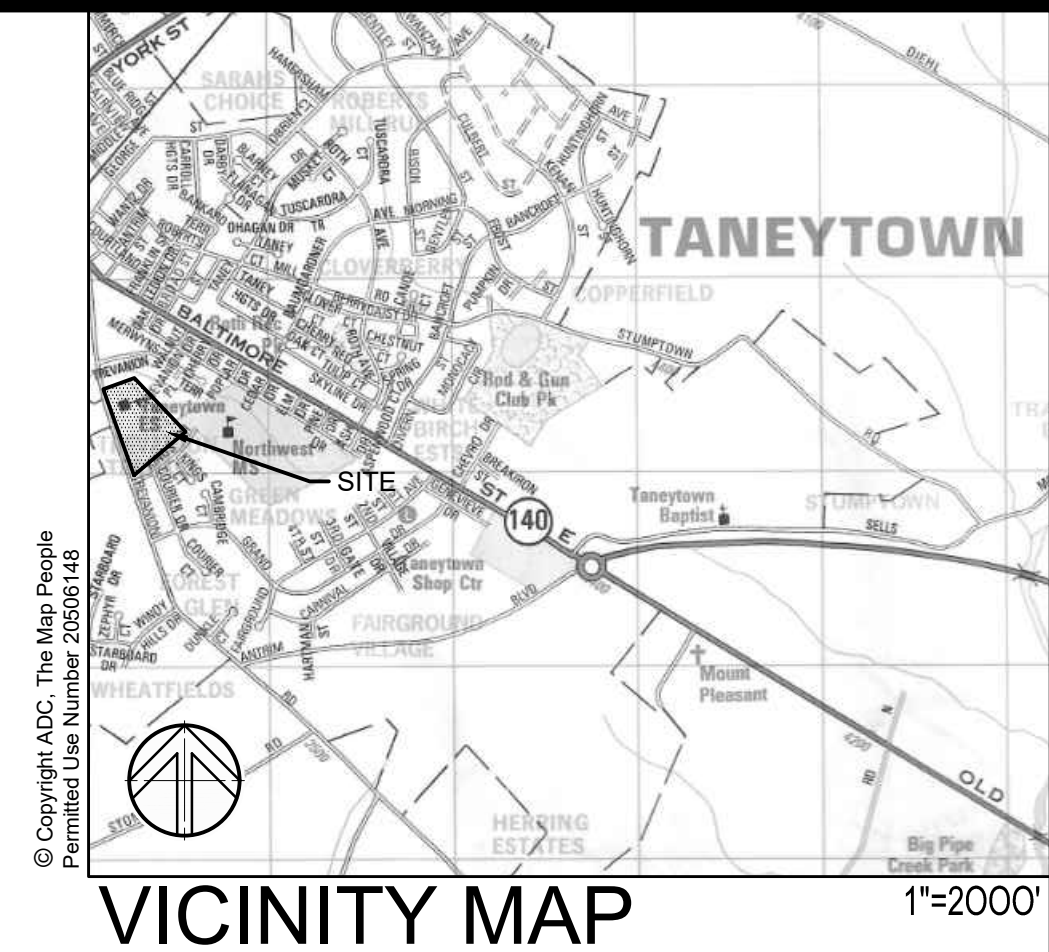
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Date: 8/3/2023
Drawing No.: 2022290
County File No.: M-23-0035

CAD Drawing File Name:



VICINITY MAP 1"=200'

LEGEND

	PROPERTY LINE
	EXISTING BUILDING
	EXISTING WALK
	EXISTING ROAD
	EXISTING CURB
	EXISTING FENCE
	EXISTING TREES
	EXISTING SHRUBS
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING TELEPHONE
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING LIGHTING
	EXISTING CONTOURS
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED SIDEWALK
	PROP. 15" SD
	PROP. 6" WATER
	PROP. 6" WATER
	PROPOSED CONTOURS

MOSELEYARCHITECTS
 1414 KEY HIGHWAY, SECOND FLOOR, BALTIMORE, MD 21230
 PHONE (410) 538-4300 FAX (410) 538-0660
 MOSELEYARCHITECTS.COM

**PROGRESS
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**TANEYTOWN ELEMENTARY SCHOOL PRE-K &
 KINDERGARTEN ADDITION**
 CARROLL COUNTY PUBLIC SCHOOLS
 100 KINGS DRIVE, TANEYTOWN, MD 21787

PROJECT NO:	631406
DATE:	
REVISIONS	
DATE	DESCRIPTION

SITE PLAN

C101

